



4 Seasons Home Inspection, LLC

1308 Centennial Avenue, Suite 160, Piscataway NJ 08854
www.4SeasonsHI.com 1-877-547-7383

Mr. and Mrs. New Construction
Street Address
Township, New Jersey zip code

Please carefully read the following inspection report in its entirety. The inspection was a visual inspection and performed accordingly to the New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection. Inspection behind walls, ceilings, flooring or other covered surfaces is excluded from a visual home inspection. That would involve destructive measures to see behind them. A copy is emailed to you if email is available and also enclosed with your hard copies for your review. Please read all addenda and supplementary attachments. Other inspection reports such as Wood Destroying Insect (Form NPMA-33) are also included with your hard copies if applicable. Any other requested tests will follow. Please call us with any questions or concerns that you may have so that they may be promptly answered before your closing.

RECEIPT

Inspection Date: July 15, 2009 9am-9pm
Client Name: Client Name(Emails to send reports)
Inspection Address: Street Number, City, NJ
Inspected by: Linda Geczi home inspection lic. #24GI00061500

BUILDING DATA

Approximate Age: ~2003 start of construction- present
Style: Single Family
Main Entrance Faces: Ne
State of Occupancy: Vacant
Weather Conditions: Clear,70-80°F
Ground cover: Dry

Home Inspection:	\$2500.00
Radon & Termite:	INCL.
Total:	\$ 2500.00

Paid by: Check#1064

Cc: Name of Attorney, Esq.

Detailed Summation begins on pg 5-23 w/pictures

REPORT OVERVIEW

THE HOUSE IN PERSPECTIVE

Pursuant to NJAC 13:40-15.16 Standards of practice (excerpts)* A copy was sent to you ahead of time.

(a) All home inspectors shall comply with the standards of practice contained in this section when conducting home inspections. The scope of home inspection services performed in compliance with the requirements set forth in this section shall provide the client with objective information regarding the condition of the systems and components of the home as determined at the time of the home inspection.

(b) Nothing in this section shall be construed to require a home inspector to:

4. Identify concealed conditions and latent defects;
5. Determine life expectancy of any system or component;
6. Determine the cause of any condition or deficiency;
7. Determine future conditions that may occur including the failure of systems and components including consequential damage;
8. Determine the operating costs of systems or components;
9. Determine the suitability of the property for any specialized use;
10. Determine compliance with codes, regulations and/or ordinances;
11. Determine market value of the property or its marketability;
12. Determine advisability of purchase of the property;
13. Determine the presence of any potentially hazardous plants, animals or diseases or the presence of any suspected hazardous substances or adverse conditions such as mold, fungus, toxins, carcinogens, noise, and contaminants in soil, water, and air;

*** See full document for complete Standards of Practice.**

Note: Observations were reported at time of inspection using visual & non-destructive means and no reporting shall be construed as advisability of purchase of the property pursuant to NJAC 13:40-15.16 (b)12 . Recommendation made should be followed up with builder and or qualified trades to give more technical evaluation(s). Confer with your lawyer on all decision matters.

DISCLAIMER: Read completely and sign below that you understand.

It is presumed that the house was properly designed by a New Jersey Registered/ Licensed Architect and furthermore either an Architect and or PE Licensed Engineer directly supervised the construction so that the house, structure and items that cannot be inspected due to having been covered, were installed per design and to codes with good workmanship. The builder must have installed all manufactured products and building materials/components in accordance with the manufacturer's instructions and specifications. Obtain a copy of the "Builders Warranty" prior to closing. Therefore, your General Home Inspection is only to supplement the supervision of the Architect / Engineer and the Township Inspections and was carried out pursuant to NJAC 13:40-15.16 Standards of Practice under the Home Inspection Advisory Committee Statutes and Regulations (Department of Law and Public Safety). A copy of the Standards was emailed to you prior to this inspection for you to review. All closed permits, certificate of occupancy (or habitability), Architect and or Engineering drawings and documentations pertaining to the entire construction of this house as well as any exterior structural components such as retaining walls, patios, walkways or any landscaping features, etc must be obtained and verified that all phases of construction were carried out according to the Local/State Building Codes and accepted building construction practices prior to closing.

It is always recommended to hire an independent Code Certified Building Inspector while the home is under construction to look out for your best interests during all phases of the construction of home and exterior features. All building codes applicable to this property as it pertains to the State of New Jersey, County and local township must be compliant and have been verified as to its total compliance prior to taking ownership. Any deviation from the intended design must be approved by the township, Architect and or Engineer.

The homeowner shall notify the builder of a known construction defects found when living in the home immediately.

**** NOTE**** If you **DO NOT UNDERSTAND** the scope of this visual non invasive general home inspection, please have it reviewed by your attorney prior immediately and before closing so you are fully aware of the scope and limitations under this New Jersey home inspection profession. This home inspection is NOT a CODE inspection.

X Signature of Client, understands to obtain all closed Permits and Township inspection prior to closing
Signature of Buyer

X _____
Signature of Buyer

X Signature of Client, understands to obtain all closed Permits and Township inspection prior to closing
Print name of buyer _____ date 07-13-2009 9AM

CONVENTIONS USED IN THIS REPORT- ALL SYSTEMS IN HOME MUST BE SERVICED YEARLY AND PROPERLY MAINTAINED AND UPGRADED AS THEY AGE

SATISFACTORY - Indicates the component is functionally consistent with its original purpose but show signs of normal wear and tear and deterioration and will need maintenance or repairs at any time over its life. Plan and budget for these repairs, replacement and upgrades. Have systems serviced regularly and maintained.

MARGINAL *- Indicates the component needs repairs, upgrade, monitor and/or replacement anytime over its life. Plan and budget for these repairs, replacement and upgrades.

POOR* - Indicates the component needs repair or replacement now.

SAFETY HAZARD* - Denotes a condition that is unsafe and in need of prompt attention now

***NOTE:** All observations or comments reported in this written report should obtain examination and analysis by a qualified professional, tradesman or service technician for that concern, defect or repair prior to closing for cost of repair, replacement or upgrade.

THE SCOPE OF THE INSPECTION

All components designated for inspection in the **New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection** except as may be noted in the “Limitations of Inspection” sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. This inspection should not be considered as an opinion or as advice as whether or not to purchase the property. Not all recommendations will be identified during this inspection. It is not our job or function to fix or solve a problem. We report on the conditions at time of inspection and recommend a specialist to further evaluate and advise on cost of repairs or remedy. Home inspectors are “Generalists” not experts or builders. A home inspection is not a CODE inspection. ****A certificate of occupancy or habitability should be obtained before closing. Township code officers perform code inspections for that certificate; not home inspectors.*** Code issues may arise that need corrections that are not part of a general home inspection and should be addressed before closing. Unexpected repairs as well as maintenance should still be anticipated. All systems and building structure will age and need repairs regardless of the age of home. Plan and budget accordingly. The inspection is not considered a guarantee or warranty of any kind. It is a snap shot in time and conditions will change with time. A “Home Warranty” is readily available from most realtor offices or on the market to help defray the cost of repairs during the life of a home. We strongly recommend this and all other forms of service plans for HVAC and insurance on sewer and water main lines.

In addition to the NJ standards, please refer to the pre-inspection agreement/contract according to NJAC 13:40-15.15, for a full explanation of the scope of the inspection. All reported items of consideration in this report must be addressed for repair evaluation and cost prior to closing. Any conditions concealed, latent, inaccessible or covered up at time of inspection are NOT the responsibility or liability of the home inspector or company.

<p>.We Always Miss Some Minor Things The intent of the inspection is not to find minor problems or cosmetic items. It is to find major problems or defects. The minor problems that are identified were discovered while looking for more significant problems. We may note them simply as a courtesy.</p>	<p>Not Insurance or Warranty In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy or warranty.</p>
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SUMMARY

Repairs are recommended for any comments or defects that are stated in this report. Every home must be maintained and will require repairs. Problems will occur and things will break. This report is designed to help reduce the possibility, but will not eliminate them from happening. Issues can and will arise at any time. budget accordingly. Recommend checking with local authorities for permits on additions and alterations. ***Please be advised that it is important to read the entire report and the remarks pages that are sent separately to the client. These remarks pages contain important maintenance information that the client needs to be aware of.*** All homes will need repairs, routine maintenance and upgrades over the course of its life. Addressing plumbing, heating, electrical and other mechanical problems or issues as they occur, with qualified contractors, should be done to keep home maintained properly. Older homes will often require structural upgrades when renovations are made. These will be dictated by the engineer and or architect designing the renovation or modification to bring structure up to current building practices and township specifications. It is recommended to obtain township permits for history of home. Recommend a "Home Warranty." Roof leaks are number one cause of water damage to interior of home. Damage can often be concealed inside walls of interior and often revealed either when renovations are done or when water issue is ongoing for a period of time. Water damage can include structural as well as environmental manifestations such as mold and mildew among others. All roofs should be inspected yearly, gutters cleaned several times a year. These systems must be maintained to provided a water tight cladding to protect the home. Often a damage found does not necessarily correspond to the roof directly above, but at some other part of the roof. Water can travel below the surfaces of roof and end up in any number of places that are hidden or concealed. A general visual home inspection cannot open up walls, ceilings, flooring or guess what is behind them. This uncertainty is always possible when roof, flashing, siding and all exterior systems are not maintained.

"If there is anything in the report that you do not understand you must contact us promptly. If not addressed, any ignored item(s), misunderstood or overlooked as to their importance and implication(s,) can and frequently do, result in negative outcome and incur costs to repair or replace." Please read **REMARKS addendum** as it is part of the report and contains important information. Any areas reported as inaccessible and not inspected or evaluated must be made accessible and inspected prior to the closing.

All items must be addressed prior to closing.

* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks.

GROUNDS(Drainage, Retaining Walls, Grading Concerns**):** Recommend window well covers on all basement windows to keep out water, ice and snow. Property has negative grade from front to rear property. There were a few drains at base of stone driveway near circle and in rear by driveway & garage. Driveway, circle and walkways were not completed. ***There is soil erosion and deep ruts around left front and side of house. Recommend having further evaluation by civil engineer/drainage engineer to avoid any potential structural concerns to home or rear retaining wall. There were two retaining walls in rear and right sides of house. Soil was low in several spots. There was missing walkway or connection between the two sections, missing railings and water in large gaps at lower section; fall/safety hazard. A wide gap at lower steps had a lot of water visible inside; stagnant water is a concern as well as drainage around retaining walls. Recommend following up on all permits and engineering plans for walls, steps, railings and drainage pertaining to these retaining walls. There were cracks at retaining wall and house side walls; have checked.*** Recommend maintaining a positive pitch of soil or grading away from Foundation for water drainage.

GROUNDS(Drainage, Retaining Walls, Grading Concerns): Add soil where needed to maintain proper grading. Grading and drainage is very important on exterior to protect home from water entry and any potential structural damage. Mulch, heavy vegetation, stones and other organic material tends to retain moisture against home. Keep this in mind when landscaping. These conditions along with negative grading can cause water infiltration, structural damage, mold and attract wood destroying insects. Trim back trees and shrubs and or remove away from house as trees and landscaping mature. There were some drain pipes(white PVC and black corrugated in rear of yard); potential trip hazard. *Patio off formal living room had been recently repaired and some of the slate is raised at joints. Some slate- slate or slate –mortar junctures were raised; trip concern.* Some repairs were being done at time of inspection. Patio is level to slightly pitched toward steps; water, ice or snow may pond or collect. There were mortar cracks on steps, railing joints and trim; some waviness to section of curved railing. Below patio is a fireplace with gas hook-up. There is some rough excess cement up flue; may restrict flow or draft. Some broken clay flue material was on ground on right side of house; ask if there was a recent chimney repair(s). Missing covers on recessed ceiling lighting. Keep all junctures water tight sealed and maintained to avoid water damage below or into the interior walls or structure. Rear steps by garage door have wide cracks; landing was sealed by mason during the day. There was a remaining gap under door threshold not sealed. Rear raised patio balusters are set crooked or not straight on treads up staircase. Some mortar joints are cracked or missing mortar. Hose bibs were not on in many areas; have shut off valves checked/turn on and retest.

Evaluations recommended/Concerns:

- 1.) Grading & drainage- Engineer evaluation for drainage
- 2.) Walkway connecting retaining walls missing & water under lower steps; safety concern
- 3.) Obtain all closed Permits on retaining wall/engineer drawings- safety railings
- 4.) Patio missing mortar, uneven, flat-slight pitch toward steps(drainage concerns)- Seal all joints/keep level

Pictures



Figure 1 A & B Missing walk between retaining walls; fall hazard.



Figure 2 Wide gap, stagnant water inside below lower steps; drainage & safety concerns.



Figure 3 No railings, missing walk connecting walls



Figure 4 Deep ruts where water washing away soil from front driveway to side/rear property; drainage concerns.



Figure 5 Gaps in patio off living room.

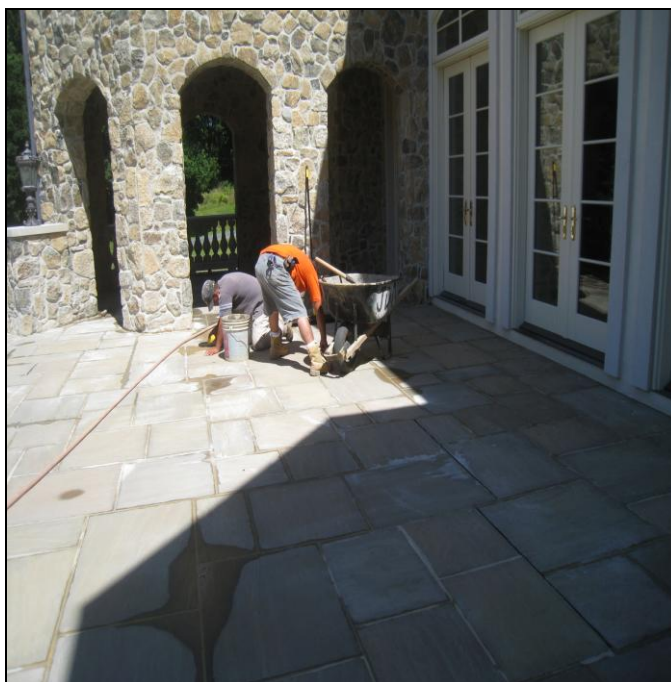


Figure 6 Workers making repairs on patio.



Figure 7 Many mortar repairs being made on patio. Some areas or joints raised.



Figure 8 Slate/mortar repairs being made.



Figure 9 Vertical cracks at retaining wall/siding juncture

SLATE ROOF (Repairs Needed): Always check roof after rains, heavy storms, high winds or severe weather for leaks and damage. There were several slates chipped, broken edges or sections or missing. *There was indication of ceiling water stains (yellowed) in living room; possible roof leak. Recommend a slate roofer evaluate roof and correct all areas where needed.* Recommend obtaining all information on roof installation, repair history and all warranty paperwork. Slate roofs must be checked at least yearly and repairs made as needed. Slate roofs can vary from quarry to quarry, product type and warranty; obtain all roof specs and information about the roof to understand the product installed and coverage. Gutters had indication of leaking at corners, spillage along main runs and seams. There were green or corroded areas on junctures where leaking indicated. Some soil ruts present around perimeter of foundation indicate improper gutter collection and draining; have gutters evaluated. Attics were very hot; more ventilation recommended to avoid mold and damaging sheathing & roof framing.

Evaluations recommended/Concerns:

- 1.) Slate roof had several broken, chipped, split shingles- Have Slate roofer make evaluation/ repairs

Pictures



Figure 10 Examples of broken shingles



Figure 11 A & B Example of broken slate shingles



Figure 12 A, B & C Examples of broken or chipped slate.



Figure 13 Split shingle

CHIMNEY/GUTTERS/SIDING/TRIM: Recommend cleaning gutters yearly or as needed to maintain proper flow and drainage. There was visible roof debris inside gutters as viewed from windows on upper floor. Clean underground drains and leaders for proper drainage. Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. *Gutters indicated leaking at corners, seams or junctures all around house and garage. There were indication of leaking gutters on right side by Orion type window; drip marks down trim and visible cracks on trim; need to be sealed.* There is some excess Tyvek sheeting on right side of window and under arched in front by window. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material are likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Homes can typical experience wet basements, crawl spaces and attract Wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. Recommend chimney sweep clean/evaluate chimney. Older chimney may need repairs or linings at some point in their life. Proper maintenance and cleanings are important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is always recommended to have a Level II chimney inspection to ensure life safety of all flues and fireplaces. Recommend chimney rain caps to keep water out of fireplaces. *Rust was visible inside several fireplaces inside home. Dining room damper was very rusted and could not open damper; have evaluated and corrected. There were many area all around house that had open junctures, cracked or missing caulk, mortar, visible mesh/cracks/holes on EIFS, etc. There were metal fasteners or reinforcements around cemented exterior siding/trim features that were not sealed; rust visible on metal. It is very important to maintain water tight cladding to protect the home against water infiltration. Have exterior cladding evaluated and corrected where needed. There was some green or discoloration in rear on EIFS where a gutter joint was leaking. EIFS is a specialty siding that should only be repaired by a qualified tradesman. Only an EIFS certified siding inspector should make evaluations and corrective measures needed. Exterior cladding and roof should be properly maintained to prevent water entry that can cause potential structural damage or mold. Rear outcrop structure extending from main kitchen had exterior cracks in several areas extending top to bottom; cracks going through stone, mortar, sills and EIFS. Recommend a structural engineer evaluate to rule out any potential structural concerns. Lintels below stone siding had no visible flashing and were heavily rusted; have addressed. There was painted wood trim around windows or added details. Some has joints where caulk separation and peeled paint; have caulked and painted or properly flashed to avoid rotted wood. There were wood forms (2x4's left in contact with soil under stone siding or retaining walls; will rot and attract termite or carpenter ant wood destroying insects.* There were many ant hills on exterior sills/by garage/rear steps, mud daubers attached to siding or trim and other bee or other insect hives. Recommend proper removal to avoid damaging siding and have a pest treatment company treat.

Evaluations recommended/Concerns:

- 1.) Gutters leaking at corners, seams, junctures and spillage along main runs- Have gutters evaluated & corrections/repairs made. Soil ruts visible and stains on siding or EIFS.
- 2.) Recommend Structural engineer evaluate outcrop off rear kitchen; cracks
- 3.) All gaps, mortar and cracks on cladding & trim needs to be properly sealed/evaluated

Pictures



Figure 14 A & B Leaking at junctures



Figure 15 A, B, C & D Indication of leaking gutters and spillage marks. Ruts in soil below.



Figure 16 Gaps in caulking/mortar and ant hills. Gaps under rear door.



Figure 17 Gaps, mortar or caulking needed.



Figure 18 Gaps around rear patio cement

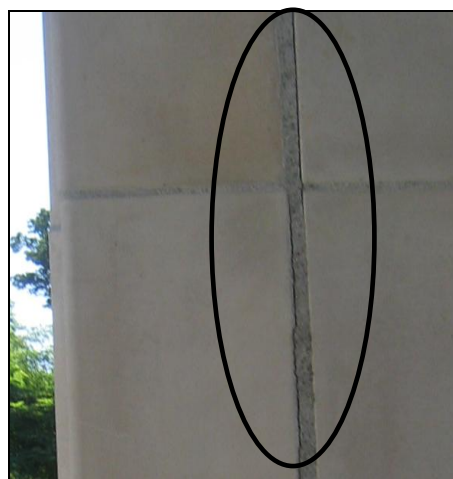


Figure 19 Examples of gaps around house, trim, railings and stone



Figure 20 Wood forms left under stone and in contact with soil(siding & retaining walls)



Figure 21 Several vertical cracks all around outcrop main kitchen area. Recommend evaluation by Structural Engineer; structural concern.





Figure 22 Examples of vertical cracks all around kitchen outcrop

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE : All A/C condensers were not level and sitting on pads above negative grading. Recommend leveling for proper fluid level and intended operation. Recommend correcting grading and level all condensers for proper appliance operation. Secure loose electrical wire to condenser by rear 3 units. There are several mortar cracks on archway and cement block trim details; have properly sealed. Sprayed expansion foam is not recommended. Proper gasket material on sills and caulking is always recommended. Expansion foam shrinks and rots over time and will attract wood destroying insects; termite and carpenter ant. There were live carpenter ants around property and some dead ant bodies in house on tiled flooring. Recommend having a licensed pest company treat and obtain the paperwork and warranty. Very large garages may be subject to local rules for heat sensors or other fire sensing or suppression equipment; check with local fire marshal. There were live yellow jackets around garage and wasp nests attached on cornerstones of garage. Left front GFCI outlet was very loose; correct. GFCI in left two garages resets in the sub panel in prep kitchen just past the laundry area off hallway. Screen missing in garage; add. Some of the cracks handles on windows were loose or lifted out of position when windows tested; correct where needed. Contact Pella manufacturer to see if under warranty and for local service representative. The right garage has power to garage door openers controlled through the GFCI outlets on wall; not recommended to avoid accidental tripping and losing power to door opener. There are some loose white wires near garage doors; further evaluate. Wood railing on steps to hallway by half bath is very loose; secure for safety.

Evaluations recommended/Concerns:

- 1.) A/C condensers not level, loose wires in rear grouping.
- 2.) Expansion foam everywhere in garage; not recommended

Pictures



Figure 23 Loose wires by garage doors; further evaluate. Expansion foam everywhere; not recommended.



KITCHEN 1ST FLOOR : The faucet on prep sink was repaired at time of inspection. There is a ceiling repair; appear fresh above the prep sink toward rear wall. Ask builder if there was a roof or plumbing leak to err on side of caution. There was no power to the dishwashers and exhaust fan over stove; have power turned on and retest prior to closing. Double door to living room are stuck; have adjusted. * There is no support for the counter top island where the shim of black marble was placed under counter top; have addressed. Missing tiles on counter top adjacent to the living room under mounted upper cabinets. There is missing molding or finishing details on all windows; screw showing where recessed. Ask if there is a screen door off the patio. There is loose electrical wiring under the end of sink counter top. Missing grout on floor nearest center island under prep sink. Consider grout sealer to keep grout clean and avoid discoloration. Some marble tiles have rough spots, pullout or defects. Ask if there is extra tiles for repairs and future breaks; monitor for cracks and lifting. There were red lines and sanded areas yet to be painted. Painting in room not completed; painters were working in home at time of inspection addressing painting. Floor registers were filled with dust and contractors debris; have removed and all ducts in home cleaned before moving into home. There is a prep kitchen adjacent to the main kitchen area. Outlets are mounted under top cabinets(power strips). Romex wiring on right side for power strip is not secured to cabinet; secure. Recommend sealing all cutouts or holes under sink and add missing shelf; only hardware present. Sink fixture is very loose on prep kitchen sink. Gaps around cabinet doors in prep kitchen. Recommend handles on the swinging door both sides for safety; small child concern.

LAUNDRY 1ST FLOOR : There is gas hookup for dryer; no appliances present. Missing shelf under sink; only hardware present. The following are good practices. Recommend cleaning dryer vent yearly or as needed to maintain lint free for fire safety. Recommend metal braided hoses on washer for added protection against hose bursts. Recommend metal vent hose on dryer for fire safety. Plastic is not recommended when changing or replacing periodically. Recommend shutting off water to washer when gone for long periods of time.

1/2 BATH NEAR GARAGE: The bottom shelf under sink was not installed ; P-trap for sink obstructs shelf. Have shelving lowered and installed. There is missing screen on window.

GUEST BATH FRONT RIGHT IN RM : Shower door catches and closes hard; have adjusted. There was no water to shower; have turned on and test fixture before closing. There is a long faucet spigot; water will take a few seconds to stop running after shutting off. There is puttied door jamb hardware where repaired or split.

1/2 BATH RIGHT FRONT: There was some grout cracking at floor and threshold juncture; have addressed. Windows are low to ground and in front of house and toilet is located in window; recommend window treatments for privacy.

DINING ROOM TO LEFT OF FOYER : Broken plastic or loose covers on crank handles. **Contact Pella and have representative go over all windows and correct where needed in the home.** There are plastic covers on floor outlets; tend to break and split and poses a trip hazard. Outlets should be flush with floor and metal or brass covered for safety. **Damper on double fireplace is rusted and stuck; have addressed and rain caps added on flues to keep out water.** Check inside of flue to make sure there is no water damage present before closing. Caulk and paint around fireplace where gaps and unfinished. There were rough mortar joints on fireplace; have addressed. Room yet to be painted; painters working in home at time of inspection. There are some gaps under floor molding; seal/caulk. Monitor floor tiles for cracks and lifting. Ask if there are spare tiles for future repairs.

LIVING ROOM CENTER HALL : Left door panel is fixed; kitchen steps on other side. Consider adding dimmers on recessed lighting where desired. **There are raised floor outlets in this room; trip hazard. Outlets should be flush and metal or brass covered for safety.** Door to kitchen has large gap on bottom; undercut or not sized properly. **There are water stains on ceiling; indication of roof leaks. See roofing section. There were numerous cracks on ceramic tile flooring.** Tiles may continue to crack and separate or lift. Flooring was apparently newer, possibly a few months; follow up with installer for evaluation and proper repairs.

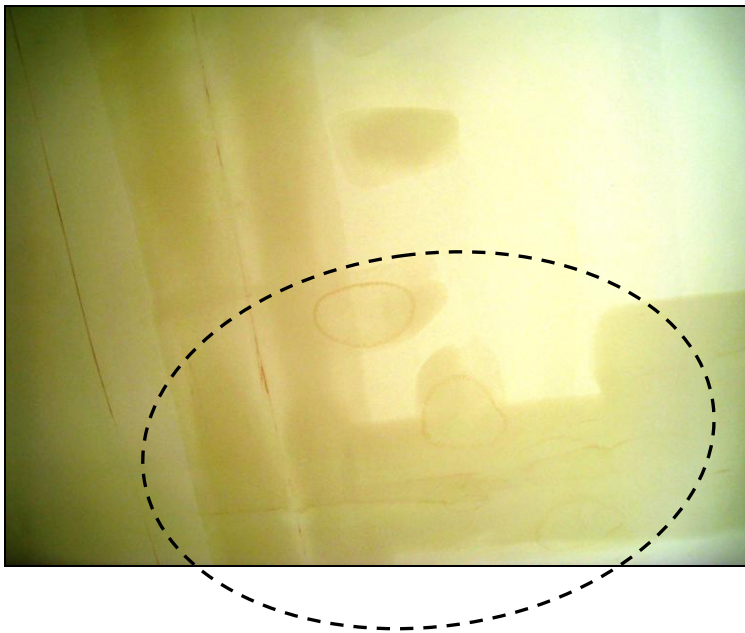




Figure 24 Numerous cracks on tiled flooring in living room; have evaluated and corrected.



Figure 25 Water stains; indication of leaking above. See roofing section.



LIBRARY/OFFICE ROOM : *There is waviness or ripples and gaps at floor/molding junctures on wood flooring; further evaluate- unknown.* Wood floor register is partially covered by built-in shelves; blocks ductwork- unconventional. Wood register cover was cut and louvers are falling apart; have addressed. The French door to living room have large gap under door; over cut or not sized properly. There is missing door handles on French door,. There is excess cement up flue in gas fireplace; not recommended/can obstruct venting. The remote mechanisms were not installed on fireplace; have evaluated and installed. Test fireplace with installation completed; remote was not available. ***The hearth floor extension is only approximately 8 inches of non flammable; check with local fire marshall to see the local rules.*** Consider dimmers on recessed outlets. Missing key to gas fireplace; not present.

FAMILY ROOM REAR LEFT OFF KITCHEN I : *There is floor board separation, waviness or ripples and gaps at floor/molding junctures on wood flooring; further evaluate- unknown.* No power to several ceiling lights; have power turned on and test lights. The fireplace is piped for gas. Metal parts in hearth are very rusted; have evaluated by chimney contractor. Recommend rain caps on all flues to keep out water.

BUTLERS PANTRY AND STORAGE ROOM : There is hardware under sink for shelving; racks and rest of shelving not present; ask if available. There is waviness to wood flooring in storage room to right of Butler's pantry; further evaluate- unknown. Some of the molding above base floor molding not painted. Door to pantry rubs or sticks on framing when closed. Door swings on its own; indication of settling. Have door adjusted. Add a door stop to keep door handle from damaging wall; dents present on wall.

FOYER ENTRANCE : The upper window in foyer is not painted yet and stickers on windows. Painters were on site painting in various rooms during inspection. Use caution with small children on staircase; railings can catch small hands and feet in decorative balusters; use baby netting or gates to protect children when present.

FIRST FLOOR GUEST BEDROOM WITH BATHROOM : Missing handle on front window.

SECOND FLOOR

MASTER BATH: The access panel for the whirl pool is under the vanity in dressing area. The whirl pool goes through an air cycle after shut off and drained. Ask if there are shelves for under sinks in cabinet; hardware present only. Caulk all floor wall/tub/shower junctures to maintain water tight seals. Dirt coming out of jets in whirlpool tub; clean tub regularly. Floor heat did not get hot; have checked.

EXTRA BATH 2ND MASTER FRONT : Ask if there are shelves for under sink. ***The large gentle shower head was clogged and not spraying properly; clean out and retest. The water was found off to the steam unit and no power; have turned on and retest before closing.***

#2 BEDROOM BATH (BLUE TILES) : Door does not close; sticks in framing. Have door sanded or adjusted to function properly.

#3 BEDROOM BATH : ***Tile flooring squeaks and slight height change when walked across toward tub; have evaluated to ensure tiles will not cracks, lift and separate when in normal every day use.*** Typical construction dirt in front of tub area; clean and consider sealing tiles or grout to keep clean and maintained. Missing door knob handle and hardware

#4 BEDROOM BATH : Add shower curtain or door before using bath. Door does not close; have corrected. Shower head type will drip for a few minutes then shut off.

#5 BEDROOM BATH : ***Shower fixture mounting bracket is broken; have repaired.*** Water drips some after use then stops.

MASTER BEDROOM SUITE : * ***There is waviness and variations or high and low spots in master suite & front closet area when walking across flooring. Some gaps visible in the front closet, walk-in by the master bathroom or in the main bedroom area. Supervisor on duty in home at time of inspection indicated the flooring in home has been repaired several times in past. Full history/cause for repairs or details for the flooring issues is not known and recommend a follow-up with builder to discuss all concerns pertaining to flooring, gaps and finish in home.*** Missing door knobs and upper or floor locks on French door to bath and closet area. Cracked plastic wall outlet plate. There is heavy rust inside the master fireplace. The remote devices are not hooked or mounted; not tested. Test all fireplaces before closing. The hearth floor extension has cracks through stone or cement; have addressed/repared. Rear fireplace also has remote not installed or mounted. Missing screen in rear room facing yard. Most of the windows and in some other rooms have paint around frames when opened; ask if windows will be painted or paint removed. There is broken drywall near steam unit for steam shower; have sealed and painted. The door to knee wall will open if ties rack placed in the forward position (on tracks) and remove the clothes hanger bar. Door were installed roughly with drywall screws(sloppy installation); visible along shelving; have corrected. ***This attic area was very hot when accessed near door panel. Hot humid attics will cause damage to wood sheathing, framing and promote conditions conducive to mold. There was a lot of sap on the wood or framing in attic; indication of very hot conditions. There was darkened areas on some rafters or wood; gives indication of possible mold. Mold testing is always recommended and mitigation as per determination/testing. Attic needs more ventilation; confer with a ventilation contractor and mold mitigation/testing company to rule out potential health issues & structural concerns.***

Continued. . .

Evaluations recommended/Concerns:

- 1.) Follow-up with builder or contractor on all flooring concerns in home
- 2.) Possible mold in attics; attics very hot/lack of proper ventilation. Testing & further evaluation recommended by ventilation contractor and mold testing/mitigation company.

Pictures

Figure 26 Examples of Possible mold; further evaluate and mitigate as per contractor & testing.

#2 BEDROOM FRONT RIGHT : Molding and floor junctures have gaps; have evaluated. Closet door rubs when closed against door framing; have checked and adjust as needed.

#3 BEDROOM FRONT LEFT : Molding and floor junctures have gaps; have evaluated. Closet door rubs when closed against framing; have checked and adjust as needed.

LAUNDRY 2ND FLOOR : There is gas hookup for dryer; no appliances present

#4 BEDROOM REAR LEFT : Visible gaps at flooring and molding junctures. Door swings on its own; settling.

#5 REAR RIGHT ROOM : Some small white edges where wood floor not stained near window. Gaps at floor and molding junctures; have evaluated.

WINDOWS/FIREPLACES/HALL/ATTIC: Do not force windows in closed, open or locked positions to avoid damaging vapor seals. If broken, they typically have to be replaced. Ask if windows are under warranty. Recommend extending railing the length of walk-up attic staircase for safety. Most room in home were not completely painted or caulked; painters were working in several areas in home at time of inspection. There were some missing screens on windows add where needed. The side door near garage off to left of 1st floor half bath swings on its own; have door hardware adjusted and door stop installed. There are no screen doors on entry doors; consider adding. The door to the coat closet off the half bath swings on its own; have evaluated and corrected. Double door near half bath 1st floor has no locking hardware at floor or ceiling. Door to walk-up attic sticks; have sanded and adjusted. There was displaced or missing insulation in some areas, possibly where work was being done. *There were several rafters or wood members that were darkened; gives indication of possible mold. Recommend testing and mitigated where needed. Hot humid attic can shorten life of sheathing and wood members and promote mold conditions. Confer with a ventilation for more ventilation methods and mold contractors; further evaluation recommended.* Light switch on second floor adjacent to rear right bedroom #5 is very temperamental; flicks on and off out of position; light is for staircase to kitchen area below. *Have electrician evaluate and correct.*

FINISHED BASEMENT LEVEL : Recommend a battery backup in case of power failure. There was efflorescence on walls or flooring; indication of water infiltration present. Recommend observing grading on exterior pitched away from foundation for proper drainage. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice. Recommend lighting on staircase for safety. There was water in the sump pump and pump turned on to drain. There were settling cracks on floor in open rooms where no tile on floor.; cracks were sealed.

KITCHEN II BASEMENT : * Packaging inside dishwasher; not tested. Test before closing. *Glass top stove was not responding when tested; check manual and retest prior to closing.* There was power to the range. The exhaust fan was very noisy or rattling when on higher speeds; have checked.

OPEN ROOM RIGHT : There was caulked or sealed cracks on cement slab. No flooring or tiles present.

OPEN ROOM LEFT : There was caulked or sealed cracks on cement slab. No flooring or tiles present.

WINE CELLAR ROOM : Missing floor molding and no door on room. Plastic laundry slop sink operated when tested.

PLUMBING: Typical life expectancy of hot water heater is 10 yrs. Units are approximately 6 yrs old. Plan and budget for new one now. Recommend monitoring plumbing in home for corrosion, leaks and clogs or backups. Have plumber upgrade and repair as needed.

HEATING: Typical life expectancy of furnace is approximately 25 yrs when maintained properly. Units are approximately 6 yrs old. Recommend cleaning ducts yearly or as needed. *Ducts were very dirty in all rooms; filled with construction debris.* Recommend changing filters as per manufacturers recommendation. Typically there are 30, 60 or 90 days filters on market; personal choice. Recommend a yearly service or tune up on HVAC system. Recommend a "Home Warranty." *Floor heating in master bath did not get hot when tested; have checked before closing. Furnaces #1, 3, and 4 did not operate when tested. Units #2, 5 and 6(attic) were functioning when tested. Thermostats for the non functioning units displayed the message as follows: System Malfunction Call Technician. Recommend a technician evaluate the HVAC systems and floor heat on second floor before closing.*



Figure 27 # Units gave this message when heat or HVAC tested.

COOLING : Typical life expectancy of A/C is 12 yrs. Units are approximately ~6 yrs old. Three of the units did not operate when tested; have evaluated. All A/C condensers should be maintained level for proper operation.

ELECTRICAL: Recommend testing GFCI outlets and breakers monthly. Recommend tamper safe outlets if small children present or covers. There were some lock out covers over a few breakers in sub panel in prep kitchen; may have been added to keep power off when construction occurring in parts of house. A few breakers were off under the covers. Add cover plates on any open junction boxes in attics and basement or where missing. There was missing screw on sub panel to right of main disconnects

END of SUMMATION..

GROUNDS

SERVICE WALKS None *Public sidewalk needs repair*

Material: Pavers/brick Incomplete Gravel Brick Other

Condition: Satisfactory Add fine sand as needed Walk not completed

Trip Hazard, missing walk between retaining walls

Pitched towards home *Settling cracks* Not visible Typical cracks

DRIVEWAY/PARKING None

Material: Concrete Asphalt Gravel/Dirt Not completed Other

Condition: Erosion, negative grade Marginal Some drains present, not tested Fill cracks and seal

Pitched towards home *Recommend more drainage – deep ruts to left of property* *Settling*

PORCH (COVERED ENTRANCE) None

STOOPS/STEPS None *Uneven risers*

Material: Concrete/Brick Wood Other *Railing/Balusters recommended*

Condition: Satisfactory Marginal, mortar cracks/missing-rear Poor *Cracked* *Settled*

Rotted/Damaged *Address/evaluate all cracks*

PATIO Raised in rear off living room

Material: Concrete/Slate Flagstone Kool-Deck® Brick *Trip hazard*

Condition: Uneven at mortar/slate junctures Marginal Missing mortar, recent repairs *Settling Cracks*

Pitched towards home (See remarks page) Drainage provided Typical cracks

BALCONY (flat, floored, roofless area) Master suite

Material: Slate/concrete Metal Composite Not visible *Railing/Balusters recommended*

Finish: as formed/installed Painted/Stained Other

Improper attachment to house *Railing loose*

Condition: Satisfactory Seal cracks Poor *Wood in contact with soil*

DECK/PATIO/PORCH COVERS None *Earth to wood contact* *Moisture/Insect damage*

FENCE/WALL Not evaluated None

LANDSCAPING AFFECTING FOUNDATION (See remarks page)

Negative Grade: East West North South Satisfactory

Recommend additional backfill *Recommend window wells/covers* *Trim back trees/shrubberies*

Wood in contact with soil- wood forms left under stone siding& retaining walls Yard drains observed - not tested

RETAINING WALL None Material: stone

Condition: Obtain closed permits for retaining wall/railings/engineering drawings Marginal, cracks

No railing *Safety Hazard*

(Relates to the visual condition of the wall)

HOSE BIBS None No anti-siphon valve

Operates: Yes No, check shut off valves inside *Sticking out too far in rear*

GENERAL COMMENTS

GROUNDSDrainage, Retaining Walls, Grading Concerns): Recommend window well covers on all basement windows to keep out water, ice and snow. Property has negative grade from front to rear property. There were a few drains at base of stone driveway near circle and in rear by driveway & garage. Driveway, circle and walkways were not completed. *There is soil erosion and deep ruts around left front and side of house. Recommend having further evaluation by civil engineer/drainage engineer to avoid any potential structural concerns to home or rear retaining wall. There were two retaining walls in rear and right sides of house. Soil was low in several spots. There was missing walkway or connection between the two sections, missing railings and water in large gaps at lower section; fall/safety hazard. A wide gap at lower steps had a lot of water visible inside; stagnant water is a concern as well as drainage around retaining walls. Recommend following up on all permits and engineering plans for walls, steps, railings and drainage pertaining to these retaining walls. There were cracks at retaining wall and house side walls; have checked.* Recommend maintaining a positive pitch of soil or grading away from Foundation for water drainage.

GROUNDS(Drainage, Retaining Walls, Grading Concerns): Add soil where needed to maintain proper grading. Grading and drainage is very important on exterior to protect home from water entry and any potential structural damage. Mulch, heavy vegetation, stones and other organic material tends to retain moisture against home. Keep this in mind when landscaping. These conditions along with negative grading can cause water infiltration, structural damage, mold and attract wood destroying insects. Trim back trees and shrubs and or remove away from house as trees and landscaping mature. There were some drain pipes(white PVC and black corrugated in rear of yard); potential trip hazard. *Patio off formal living room had been recently repaired and some of the slate is raised at joints. Some slate- slate or slate –mortar junctures were raised; trip concern.* Some repairs were being done at time of inspection. Patio is level to slightly pitched toward steps; water, ice or snow may pond or collect. There were mortar cracks on steps, railing joints and trim; some waviness to section of curved railing. Below patio is a fireplace with gas hook-up. There is some rough excess cement up flue; may restrict flow or draft. Some broken clay flue material was on ground on right side of house; ask if there was a recent chimney repair(s). Missing covers on recessed ceiling lighting. Keep all junctures water tight sealed and maintained to avoid water damage below or into the interior walls or structure. Rear steps by garage door have wide cracks; landing was sealed by mason during the day. There was a remaining gap under door threshold not sealed. Rear raised patio balusters are set crooked or not straight on treads up staircase. Some mortar joints are cracked or missing mortar. Hose bibs were not on in many areas; have shut off valves checked/turn on and retest.

Evaluations recommended/Concerns:

- 1.) Grading & drainage- Engineer evaluation for drainage
- 2.) Walkway connecting retaining walls missing & water under lower steps; safety concern
- 3.) Obtain all closed Permits on retaining wall/engineer drawings- safety railings
- 4.) Patio missing mortar, uneven, flat-slight pitch toward steps(drainage concerns)- Seal all joints/keep level

Pictures



Figure 28 A & B Missing walk between retaining walls; fall hazard.



Figure 29 Wide gap, stagnant water inside below lower steps; drainage & safety concerns.



Figure 30 No railings, missing walk connecting walls



Figure 31 Deep ruts where water washing away soil from front driveway to side/rear property; drainage concerns.



Figure 32 Gaps in patio off living room.

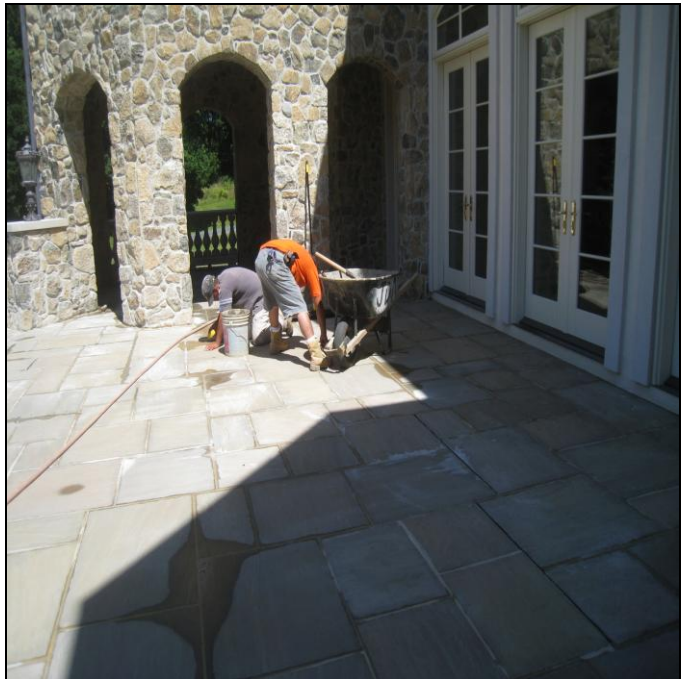


Figure 33 Workers making repairs on patio.



Figure 34 Many mortar repairs being made on patio. Some areas or joints raised.



Figure 35 Slate/mortar repairs being made.



Figure 36 Vertical cracks at retaining wall/siding juncture

ROOF

ROOF VISIBILITY All Partial None Limited by: Angle, pitch & height

INSPECTED FROM Roof Ladder at eaves Ground (*Inspection Limited*) With Binoculars

STYLE OF ROOF

Type: Gable Hip Mansard Shed Flat Other
Pitch: Low Medium Steep Flat

ROOF COVERING

Roof #1: Type: **Slate roof** Estimated Layers: 1 Approximate age of cover: 6+ years

NOTE: It is always recommended to obtain roofing information on brand and warranty due to current concerns with some GAF and other manufacturers architectural roof shingles involved in a class action suit to err on side of caution. Often it cannot be determined by visual inspection. Age of roof is only an approximation. Installers paperwork are only proof of age.

VENTILATION SYSTEM **Type:** Soffit Ridge Gable Roof
Appears Adequate: Yes No Turbine Powered Very hot attics
(See Interior remarks page) (See Attic section)

FLASHING

Material: Galv/Alum Asphalt Not visible Rubber
Condition: Not visible Satisfactory Marginal Poor Rusted
VALLEYS Not visible N/A **Material:** Galv/Alum Asphalt Lead Copper
Condition: Not visible Satisfactory Marginal Poor

CONDITION OF ROOF COVERINGS **Roof #1:** Satisfactory Marginal, many broken, chipped, damage slate

Condition(Repairs Needed): Missing Cracking Chipped Broken Broken/Loose Tiles/Shingles
 Water stains visible on living room ceiling Need Slate Roof Evaluation/Repairs

READ THIS NOTE: All roofs if not in perfect LEAK –FREE condition, can and will leak into a home. Anything checked off above in conditions section must be addressed or corrected and evaluated by a qualified roof prior to closing. Plan for yearly repairs and roof replacement. Obtain the roof warranty from sellers. Water damage and mold can be concealed behind walls, ceilings or any other covering that cannot be seen during a Visual Home Inspection. Refer to the NJ Standards of Practice sent with your Pre-Inspection contract. If you have any concerns, you must engage in a contract with a licensed contractor to open up walls, ceilings, flooring or other cladding or covering by arranging it with the sellers before closing to rule out hidden problems, mold or other water related issues. There are costs associated with this type of invasive investigation. This will involve destructive means that is beyond the scope of a general visual home inspection under New Jersey law. See siding section for similar comments about hidden damage.

SKYLIGHTS N/A Cracked/Broken Not visible Cloudy or overcast; limited visibility

PLUMBING VENTS Yes No Satisfactory Marginal Poor

Recommend roofer evaluate and make all repairs Conditions reported above reflect visible portion only

GENERAL COMMENTS

SLATE ROOF(Repairs Needed): Always check roof after rains, heavy storms, high winds or severe weather for leaks and damage. There were several slates chipped, broken edges or sections or missing. **There was indication of ceiling water stains(yellowed) in living room; possible roof leak. Recommend a slate roofer evaluate roof and correct all areas where needed.** Recommend obtaining all information on roof installation, repair history and all warranty paperwork. Slate roofs must be checked at least yearly and repairs made as needed. Slate roofs can vary from quarry to quarry, product type and warranty; obtain all roof specs and information about the roof to understand the product installed and coverage. Gutters had indication of leaking at corners, spillage along main runs and seams. There were green or corroded areas on junctures where leaking indicated. Some soil ruts present around perimeter of foundation indicate improper gutter collection and draining; have gutters evaluated. Attics were very hot; more ventilation recommended to avoid mold and damaging sheathing & roof framing.

Evaluations recommended/Concerns:

1.) Slate roof had several broken, chipped, split shingles- Have Slate roofer make evaluation/ repairs

Pictures



Figure 37 Examples of broken shingles



Figure 38 A & B Example of broken slate shingles



Figure 39 A , B & C Examples of broken or chipped slate.



Figure 40 Split shingle

CHIMNEY/GUTTERS/SIDING/TRIM

CHIMNEY(S) None Location(s): 3
Viewed From: Roof Ladder at eaves Ground with binoculars
Note: Chimney inspection is very limited during a home inspection. Sections at top, cap, liners are often not visible. Level II chimney inspection is always recommended prior to closing to fully inspect the chimney.
Rain Cap/Spark Arrestor: Yes No **Recommended**
Chase: EIFS Stone Metal Blocks Framed
Evidence of: **Mortar cracks** Cracked chimney cap Loose mortar joints Flaking Loose Brick Rust
Flue/Liner: Tile Metal **Unlined** Not visible
Evidence of: Scaling Cracks Creosote **Not evaluated (See remarks page)**
 Have flue(s) cleaned and re-evaluated **Recommend Cricket/Saddle/Flashing**
Condition: Satisfactory Marginal, seal all mortar cracks Poor

GUTTERS/SCUPPERS/EAVES TROUGH None
 Needs to be cleaned yearly or more often **Downspouts missing**
Material: Copper Vinyl/Plastic Galvanized/Aluminum Other
Condition: Spillage marks along main runs and ruts in Soil below Marginal, Indication of Leaking Poor
 Corrosion(green) where leaking at corners, joints and seams
Leaking: Corners Joints **Spillage on main runs, dirty & roof debris inside gutters**
Attachment: Loose **Missing spikes** **Improperly sloped (See remarks page)**
Extension needed: **Clean gutters & correct all leak points**
 Leaking gutters caused green discoloration on EIFS siding in rear East West

SIDING (*See remarks page EIFS)
Material: Stone EIFS* -mud daubers attached to siding, cracks exposed mesh, holes
 Many Cracks on Mortar, junctures, trim, Archway cement blocks or cement details
 Evaluate **Wood forms left in under stone siding**
Note- Concealed behind Siding : Siding cannot be removed during a home inspection; invasive. There is always a chance of concealed water and/or wood destroying insect damage behind gutters, siding, trim, rake boards and fascia. This cannot be determined during a visual non-invasive home inspection. Mold can also be concealed and not visible.
Condition: Satisfactory Marginal, address all gaps, joints, junctures, cracks on Entire Cladding
 Poor **Recommend repair/painting wood trim(caulk and or flash)**

TRIM, SOFFIT, FASCIA, FLASHING
Material: Wood, painted Fascia/trim splits/peeled paint/separated caulk Aluminum/Steel Fiber Cement
 Stucco **Recommend repair/painting** **Damaged wood** Metal/vinyl Other
 Note: Often concealed water damage or rot can be concealed behind gutters on fascia or soffits. Monitor areas and address repairs as needed. Dirty gutters will spill over and cause damage often concealed, on fascia, trim, siding or interior ; clean regularly.
Condition: Satisfactory Marginal Splits, separated caulk, peeled paint

CAULKING
Condition: Correct all needed caulking on exterior Marginal Poor, wide gaps/separations
 Recommend around windows/doors/masonry ledges/corners/utility penetrations/trim/patios where needed

WINDOWS & SCREENS **Failed/fogged insulated glass**
Material: Wood Metal Vinyl Aluminum/Vinyl Clad
Screens: Torn Bent Not installed Glazing/caulk needed
Condition: Satisfactory Some Missing Poor **Wood rot** **Recommend repair/painting**

STORMS WINDOWS N/A Not installed Wood Clad comb. Wood/metal comb.
SLAB-ON-GRADE/FOUNDATION N/A (See Basement/Crawl Space)

GENERAL COMMENTS

CHIMNEY/GUTTERS/SIDING/TRIM: Recommend cleaning gutters yearly or as needed to maintain proper flow and drainage. There was visible roof debris inside gutters as viewed from windows on upper floor. Clean underground drains and leaders for proper drainage. Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. *Gutters indicated leaking at corners, seams or junctures all around house and garage. There were indication of leaking gutters on right side by Orion type window; drip marks down trim and visible cracks on trim; need to be sealed.* There is some excess Tyvek sheeting on right side of window and under arched in front by window. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material are likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Homes can typical experience wet basements, crawl spaces and attract Wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. Recommend chimney sweep clean/evaluate chimney. Older chimney may need repairs or linings at some point in their life. Proper maintenance and cleanings are important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is always recommended to have a Level II chimney inspection to ensure life safety of all flues and fireplaces. Recommend chimney rain caps to keep water out of fireplaces. *Rust was visible inside several fireplaces inside home. Dining room damper was very rusted and could not open damper; have evaluated and corrected. There were many area all around house that had open junctures, cracked or missing caulk, mortar, visible mesh/cracks/holes on EIFS, etc. There were metal fasteners or reinforcements around cemented exterior siding/trim features that were not sealed; rust visible on metal. It is very important to maintain water tight cladding to protect the home against water infiltration. Have exterior cladding evaluated and corrected where needed. There was some green or discoloration in rear on EIFS where a gutter joint was leaking. EIFS is a specialty siding that should only be repaired by a qualified tradesman. Only an EIFS certified siding inspector should make evaluations and corrective measures needed. Exterior cladding and roof should be properly maintained to prevent water entry that can cause potential structural damage or mold. Rear outcrop structure extending from main kitchen had exterior cracks in several areas extending top to bottom; cracks going through stone, mortar, sills and EIFS. Recommend a structural engineer evaluate to rule out any potential structural concerns. Lintels below stone siding had no visible flashing and were heavily rusted; have addressed. There was painted wood trim around windows or added details. Some has joints where caulk separation and peeled paint; have caulked and painted or properly flashed to avoid rotted wood. There were wood forms (2x4's left in contact with soil under stone siding or retaining walls; will rot and attract termite or carpenter ant wood destroying insects.* There were many ant hills on exterior sills/by garage/rear steps, mud daubers attached to siding or trim and other bee or other insect hives. Recommend proper removal to avoid damaging siding and have a pest treatment company treat.

Evaluations recommended/Concerns:

- 1.) Gutters leaking at corners, seams, junctures and spillage along main runs- Have gutters evaluated & corrections/repairs made. Soil ruts visible and stains on siding or EIFS.
- 2.) Recommend Structural engineer evaluate outcrop off rear kitchen; cracks
- 3.) All gaps, mortar and cracks on cladding & trim needs to be properly sealed/evaluated

Pictures

Figure 41 A & B Leaking at junctures



Figure 42 A, B, C & D Indication of leaking gutters and spillage marks. Ruts in soil below.



Figure 43 Gaps in caulking/mortar and ant hills. Gaps under rear door.



Figure 44 Gaps, mortar or caulking needed.



Figure 45 Gaps around rear patio cement

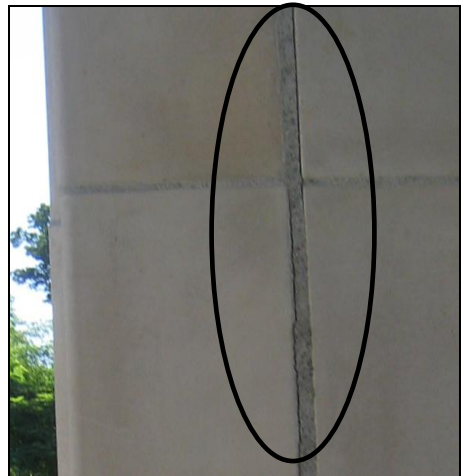


Figure 46 Examples of gaps around house, trim, railings and stone



Figure 47 Wood forms left under stone and in contact with soil(siding & retaining walls)



Figure 48 Several vertical cracks all around outcrop main kitchen area. Recommend evaluation by Structural Engineer; structural concern.

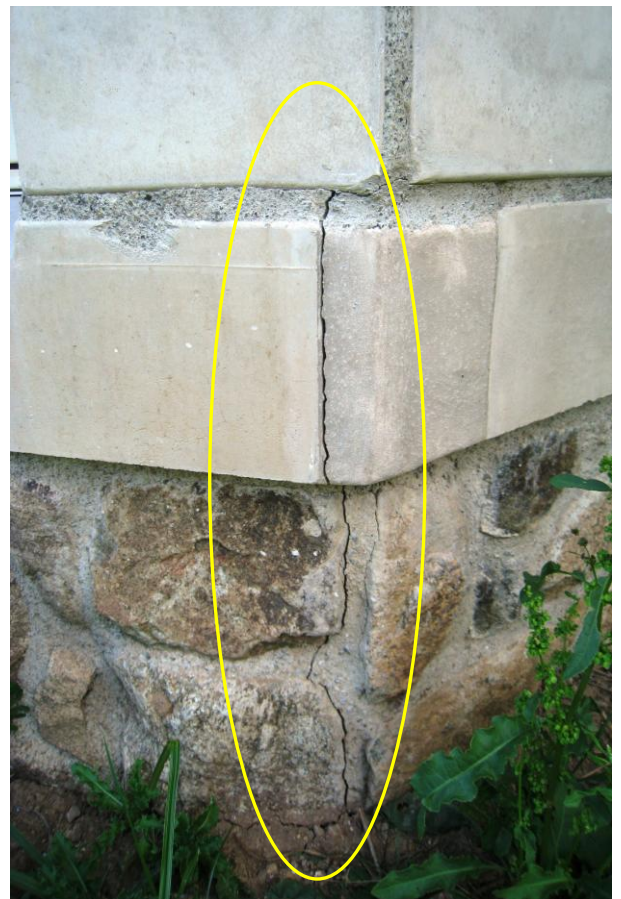




Figure 49 Examples of vertical cracks all around kitchen outcrop

EXTERIOR/ELECTRICAL/AC/HEAT PUMP/GARAGE**SERVICE ENTRY**

Underground Overhead *Weather head/mast needs repair* Condition: Sat. Marginal Poor
Exterior outlets: Yes No **Operative:** Yes No *Overhead wires too low*
GFCI present: Yes No **Operative:** Yes No *Less than 3' from balcony/deck/windows*
 Reverse polarity Open ground Safety Hazard

BUILDING(S) EXTERIOR WALL CONSTRUCTION

Type: Not visible, inside walls Framed Masonry Other
Condition: Satisfactory, overall exterior Marginal Poor Not visible inside walls

EXTERIOR DOORS

Weather-stripping: Satisfactory Marginal, some gaps around doors Poor Missing Replace
Door Condition: Satisfactory Marginal Poor

EXTERIOR A/C - HEAT PUMP**Location(s):**

Unit #1 Brand: Carrier Outside shutoff: Yes No Unit #3 Brand: Carrier Outside shutoff: Yes No
Unit #2 Brand: Carrier Outside shutoff: Yes No Unit #4 Brand: Carrier Outside shutoff: Yes No
Unit #5 Brand: Carrier Outside shutoff: Yes No Unit #6 Brand: Carrier Outside shutoff: Yes No
Condition: Satisfactory Marginal Poor Rusted **Level:** No

Cabinet/housing rusted Condenser Fins: Damaged Need cleaning Damaged base/pad

GARAGE

None Attached Detached 1-car 2-car 3-car 4-car 1-open carport
Automatic Opener: Yes No Operable Inoperable Remote not available
Safety Reverse Operable: Pressure reverse Electric eye Need(s) adjusting Safety hazard
Roofing Material: Same as house Gutters: Marginal, Leaking Siding: Same as house Trim: Same as house
Floor : Material: Concrete Condition: Satisfactory Typical cracks Large settling cracks
Burners less than 18" above garage floor: N/A Yes No Safety hazard
Sill Plates : Expansion foam not recommended to seal large gaps* Elevated
Overhead doors: N/A Wood Satisfactory
Recommend Painting Inside & Edges: No Recommend lubrication as needed Weather-stripping missing/damaged
Exterior Service Door: None Satisfactory Marginal Poor Damaged/Rusted
Electricity Present: Yes GFCI Present: Yes **Operates:** Yes **Reverse polarity:** No Open ground: No
Firewall (*Between garage & living area*) : Present Satisfactory Safety hazard(s) Recommend repair
Fire door: Not verifiable Satisfactory
Moisture Stains Present: Yes No Typical Cracks: Yes No

GENERAL COMMENTS

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE : All A/C condensers were not level and sitting on pads above negative grading. Recommend leveling for proper fluid level and intended operation. Recommend correcting grading and level all condensers for proper appliance operation. Secure loose electrical wire to condenser by rear 3 units. There are several mortar cracks on archway and cement block trim details; have properly sealed. Sprayed expansion foam is not recommended. Proper gasket material on sills and caulking is always recommended. Expansion foam shrinks and rots over time and will attract wood destroying insects; termite and carpenter ant. There were live carpenter ants around property and some dead ant bodies in house on tiled flooring. Recommend having a licensed pest company treat and obtain the paperwork and warranty. Very large garages may be subject to local rules for heat sensors or other fire sensing or suppression equipment; check with local fire marshal. There were live yellow jackets around garage and wasp nests attached on cornerstones of garage. Left front GFCI outlet was very loose; correct. GFCI in left two garages resets in the sub panel in prep kitchen just past the laundry area off hallway. Screen missing in garage; add. Some of the cracks handles on windows were loose or lifted out of position when windows tested; correct where needed. Contact Pella manufacturer to see if under warranty and for local service representative. The right garage has power to garage door openers controlled through the GFCI outlets on wall; not recommended to avoid accidental tripping and losing power to door opener. There are some loose white wires near garage doors; further evaluate. Wood railing on steps to hallway by half bath is very loose; secure for safety.

Evaluations recommended/Concerns:

- 1.) A/C condensers not level, loose wires in rear grouping.
- 2.) Expansion foam everywhere in garage; not recommended

Pictures

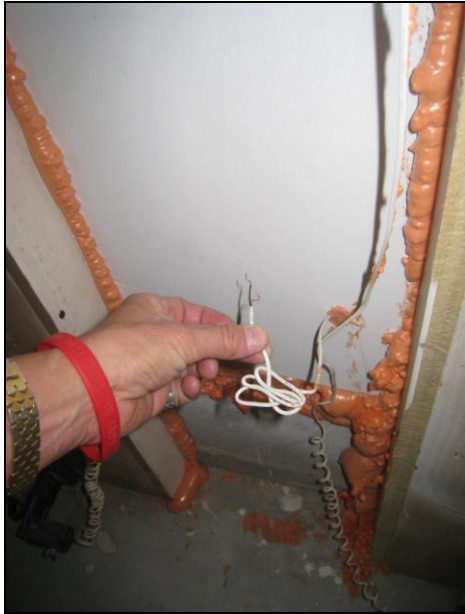


Figure 50 Loose wires by garage doors; further evaluate. Expansion foam everywhere; not recommended.



FIRST FLOOR**KITCHEN I AND ADJACENT PREP KITCHEN****COUNTERTOPS**
 Satisfactory Island by rear* *Recommend repair/caulking*
CABINETS
 Satisfactory Marginal *Recommend repair/adjustment*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspectors responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Satisfactory Corroded Chipped Cracked *Recommend repair*
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor

WALLS & CEILING

Condition: Satisfactory **Recent ceiling spackle/sanded** *Moisture stains- ask history* Typical cracks

HEATING / COOLING SOURCE

Yes No

FLOOR

Condition: Satisfactory Monitor for cracks& tile separation Poor Sloping Squeaks

APPLIANCES

(See remarks page)

Oven Operates: Yes No Exhaust fan Operates: Yes, switch on left No Lights
 Range Operates: Yes No Refrigerators Operates: Yes No
 2 Dishwashers Operates: Yes No Power Microwave/convection Operates: Yes No
 Coffee maker Operates: Yes Not tested

Dishwasher Air gap: N/A **Dishwasher Drain Line Looped:** Not visible
Outlets Present: Yes Operable: Yes **G.F.C.I.:** Yes Operable: Yes No
Open ground/Reverse polarity within 6' of water: Yes No *Potential safety hazard(s)*

GENERAL COMMENTS

KITCHEN I FIRST FLOOR : The faucet on prep sink was repaired at time of inspection. There is a ceiling repair; appear fresh above the prep sink toward rear wall. Ask builder if there was a roof or plumbing leak to err on side of caution. There was no power to the dishwashers and exhaust fan over stove; have power turned on and retest prior to closing. Double door to living room are stuck; have adjusted. * There is no support for the counter top island where the shim of black marble was placed under counter top; have addressed. Missing tiles on counter top adjacent to the living room under mounted upper cabinets. There is missing molding or finishing details on all windows; screw showing where recessed. Ask if there is a screen door off the patio. There is loose electrical wiring under the end of sink counter top. Missing grout on floor nearest center island under prep sink. Consider grout sealer to keep grout clean and avoid discoloration. Some marble tiles have rough spots, pullout or defects. Ask if there is extra tiles for repairs and future breaks; monitor for cracks and lifting. There were red lines and sanded areas yet to be painted. Painting in room not completed; painters were working in home at time of inspection addressing painting. Floor registers were filled with dust and contractors debris; have removed and all ducts in home cleaned before moving into home. There is a prep kitchen adjacent to the main kitchen area. Outlets are mounted under top cabinets(power strips). Romex wiring on right side for power strip is not secured to cabinet; secure. Recommend sealing all cutouts or holes under sink and add missing shelf; only hardware present. Sink fixture is very loose on prep kitchen sink. Gaps around cabinet doors in prep kitchen. Recommend handles on the swinging door both sides for safety; small child concern.

LAUNDRY ROOM 1st FLOOR**ROOM COMPONENTS**

Laundry sink: N/A **Faucet leaks:** Yes No **Pipes leak:** Yes No
Cross connections: Yes No **Heat source present:** Yes No **Room vented:** Yes No
Dryer vented: N/A Wall Ceiling Floor Not vented
 Not vented to Exterior *Recommend repair* *Safety hazard*
Electrical: Open ground/reverse polarity within 6' of water: Yes No *Safety hazard*
G.F.C.I. present: Yes No **Operates:** Yes No
Appliances: Washer Brand: Dryer Brand: Water heater Furnace Cluttered
 Note: Testing washer and dryer is not part of New Jersey home inspection.
Washer hook-up lines/valves: Leaking Corroded Not visible
Gas Shut-off Valve: N/A Yes No Cap Needed Safety hazard Not visible
Electrical Set-up : N/A Yes No

GENERAL COMMENTS

LAUNDRY 1ST FLOOR : There is gas hookup for dryer; no appliances present. Missing shelf under sink; only hardware present. The following are good practices. Recommend cleaning dryer vent yearly or as needed to maintain lint free for fire safety. Recommend metal braided hoses on washer for added protection against hose bursts. Recommend metal vent hose on dryer for fire safety. Plastic is not recommended when changing or replacing periodically. Recommend shutting off water to washer when gone for long periods of time.

BATHROOMS**BATH: ½ BATH BY GARAGE****SINKS / TUBS / SHOWERS**

Faucet leaks: Yes No **Loose:** Yes No **Pipes leak:** Yes No
Fixture(s) Condition: Satisfactory Marginal Poor

TOILET

Bowl Loose: Yes No **Operates:** Yes No Toilet leaks *Cracked bowl/tank* *Cross connection*

WALLS / CEILING / CABINETS

Moisture stains present: Yes No **Outlets present:** Yes No
G.F.C.I. Present: Yes No **Operates:** Yes No
Open ground/Reverse polarity within 6' of water: Yes No **Potential safety hazards present:** Yes No

HEATING / COOLING SOURCE

Yes No
Window/Door: Yes No Satisfactory Marginal Poor
Exhaust Fan: Yes No **Operates:** Yes No **Noisy:** Yes No

GENERAL COMMENTS

1/2 BATH NEAR GARAGE: The bottom shelf under sink was not installed ; P-trap for sink obstructs shelf. Have shelving lowered and installed. There is missing screen on window.

**GUEST BATH FRONT
RIGHT IN RM:**

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: Poor
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE Yes No

Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

GUEST BATH FRONT RIGHT IN RM : Shower door catches and closes hard; have adjusted. There was no water to shower; have turned on and test fixture before closing. There is a long faucet spigot; water will take a few seconds to stop running after shutting off. There is puttied door jamb hardware where repaired or split.

BATH: 1/2 BATH RIGHT FRONT

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. Present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEATING / COOLING SOURCE Yes No

Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

1/2 BATH RIGHT FRONT: There was some grout cracking at floor and threshold juncture; have addressed. Windows are low to ground and in front of house and toilet is located in window; recommend window treatments for privacy.

DINING ROOM TO LEFT OF FOYER

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No **Where:** Squeaks Slopes
Floor: Satisfactory Marginal Poor
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

DINING ROOM TO LEFT OF FOYER : Broken plastic or loose covers on crank handles. *Contact Pella and have representative go over all windows and correct where needed in the home.* There are plastic covers on floor outlets; tend to break and split and poses a trip hazard. Outlets should be flush with floor and metal or brass covered for safety. *Damper on double fireplace is rusted and stuck; have addressed and rain caps added on flues to keep out water.* Check inside of flue to make sure there is no water damage present before closing. Caulk and paint around fireplace where gaps and unfinished. There were rough mortar joints on fireplace; have addressed. Room yet to be painted; painters working in home at time of inspection. There are some gaps under floor molding; seal/caulk. Monitor floor tiles for cracks and lifting. Ask if there are spare tiles for future repairs.

LIVING ROOM

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes, yellowed No **Where:** ceiling
Floor: Many Cracks around tiles and grout Have flooring evaluated, tiles are possibly only a few months old. Ask when flooring was installed. Proper Corrections needed
Typical cracks: Yes No, many cracks
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

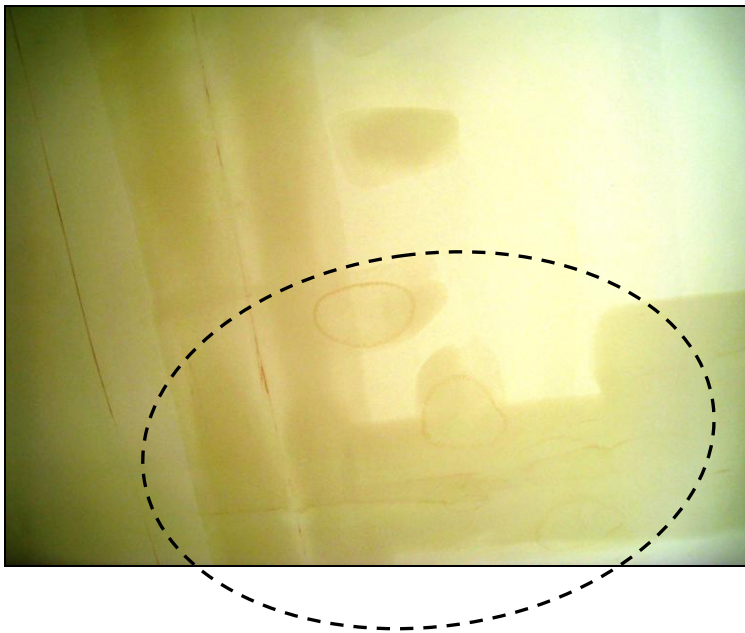
LIVING ROOM CENTER HALL : Left door panel is fixed; kitchen steps on other side. Consider adding dimmers on recessed lighting where desired. *There are raised floor outlets in this room; trip hazard. Outlets should be flush and metal or brass covered for safety.* Door to kitchen has large gap on bottom; undercut or not sized properly. *There are water stains on ceiling; indication of roof leaks. See roofing section. There were numerous cracks on ceramic tile flooring.* Tiles may continue to cracks an separate or lift. Flooring was apparently newer, possibly a few months; follow up with installer for evaluation and proper repairs.



Figure 51 Numerous cracks on tiled flooring in living room; have evaluated and corrected.



Figure 52 Water stains; indication of leaking above. See roofing section.



LIBRARY/OFFICE ROOM

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where:
Floor: Satisfactory **Marginal, waviness** **Further evaluate** Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing **Safety Hazard**
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

LIBRARY/OFFICE ROOM : *There is waviness or ripples and gaps at floor/molding junctures on wood flooring; further evaluate- unknown.* Wood floor register is partially covered by built-in shelves; blocks ductwork- unconventional. Wood register cover was cut and louvers are falling apart; have addressed. The French door to living room have large gap under door; over cut or not sized properly. There is missing door handles on French door,. There is excess cement up flue in gas fireplace; not recommended/can obstruct venting. The remote mechanisms were not installed on fireplace; have evaluated and installed. Test fireplace with installation completed; remote was not available. *The hearth floor extension is only approximately 8 inches of non flammable; check with local fire marshall to see the local rules.* Consider dimmers on recessed outlets. Missing key to gas fireplace; not present.

FAMILY ROOM REAR LEFT OFF KITCHEN REAR LEFT OFF KITCHEN I

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where:
Floor: Satisfactory **Marginal, waviness** **Further evaluate** Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing **Safety Hazard**
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

FAMILY ROOM REAR LEFT OFF KITCHEN I : *There is floor board separation, waviness or ripples and gaps at floor/molding junctures on wood flooring; further evaluate- unknown.* No power to several ceiling lights; have power turned on and test lights. The fireplace is piped for gas. Metal parts in hearth are very rusted; have evaluated by chimney contractor. Recommend rain caps on all flues to keep out water.

FIRST FLOOR GUEST BEDROOM WITH BATHROOM

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No **Where:** Squeaks Slopes
Floor: Satisfactory Marginal Poor
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing **Safety Hazard**
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: **Operational:** Yes No **Broken Vapor Seals :** Yes No N/A
Locks/Latches Operable: Yes No Missing handle Cracked Glass

GENERAL COMMENTS

FIRST FLOOR GUEST BEDROOM WITH BATHROOM : Missing handle on front window.

SECOND FLOOR

BATHROOMS

BATH: MASTER BATH

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No **Loose:** Yes No **Pipes leak:** Yes No
Fixture(s) Condition: Satisfactory Marginal Poor

TOILET

Bowl Loose: Yes No **Operates:** Yes No Toilet leaks *Cracked bowl/tank* *Cross connection*

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
Condition: Satisfactory Marginal Poor Rotted floors
Caulk/Grouting Needed: Yes No **Where:** tub/shower/floor /all junctures
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Whirlpool Operable: N/A Yes No **Access panel to pump/motor:** Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No **Outlets present:** Yes No
G.F.C.I. Present: Yes No **Operates:** Yes No
Open ground/Reverse polarity within 6' of water: Yes No **Potential safety hazards present:** Yes No

HEATING / COOLING SOURCE

Yes No Marginal Poor
Window/Door: Yes No Satisfactory Marginal Poor
Exhaust Fan: Yes No **Operates:** Yes No **Noisy:** Yes No

GENERAL COMMENTS

MASTER BATH: The access panel for the whirl pool is under the vanity in dressing area. The whirl pool goes through an air cycle after shut off and drained. Ask if there are shelves for under sinks in cabinet; hardware present only. Caulk all floor wall/tub/shower junctures to maintain water tight seals. Dirt coming out of jets in whirlpool tub; clean tub regularly. Floor heat did not get hot; have checked.

EXTRA BATH: 2ND MASTER FRONT

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: all junctures as needed
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE

Yes No
 Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

EXTRA BATH 2ND MASTER FRONT : Ask if there are shelves for under sink. *The large gentle shower head was clogged and not spraying properly; clean out and retest. The water was found off to the steam unit and no power; have turned on and retest before closing.*

#2 BEDROOM BATH: BLUE TILES

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: all junctures
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE

Yes No
 Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

#2 BEDROOM BATH (BLUE TILES) : Door does not close; sticks in framing. Have door sanded or adjusted to function properly.

**#3 BEDROOM BATH:
SINKS / TUBS / SHOWERS**

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: all junctures
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE Yes No

Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

#3 BEDROOM BATH : *Tile flooring squeaks and slight height change when walked across toward tub; have evaluated to ensure tiles will not cracks, lift and separate when in normal every day use.* Typical construction dirt in front of tub area; clean and consider sealing tiles or grout to keep clean and maintained. Missing door knob handle and hardware

**# 4 BEDROOM BATH:
SINKS / TUBS / SHOWERS**

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: all junctures
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE Yes No

Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

#4 BEDROOM BATH : Add shower curtain or door before using bath. Door does not close; have corrected. Shower head type will drip for a few minutes then shut off.

#5 BEDROOM BATH:

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: all junctures
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE

Yes No
 Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

#5 BEDROOM BATH : Shower fixture mounting bracket is broken; have repaired. Water drips some after use then stops.

MASTER BEDROOM SUITE

LOCATION:

Walls & Ceiling: Satisfactory **Moisture stains:** No Where:
Floor * : Waviness, high & low spots, gaps at floor/molding or built-ins Gaps at floor junctures
 Slopes or variation when walked across
Typical cracks: Yes **Gaps at floor & molding junctures**
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing **Safety Hazard**
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

MASTER BEDROOM SUITE : * *There is waviness and variations or high and low spots in master suite & front closet area when walking across flooring. Some gaps visible in the front closet, walk-in by the master bathroom or in the main bedroom area. Supervisor on duty in home at time of inspection indicated the flooring in home has been repaired several times in past. Full history/cause for repairs or details for the flooring issues is not known and recommend a follow-up with builder to discuss all concerns pertaining to flooring, gaps and finish in home.* Missing door knobs and upper or floor locks on French door to bath and closet area. Cracked plastic wall outlet plate. There is heavy rust inside the master fireplace. The remote devices are not hooked or mounted; not tested. Test all fireplaces before closing. The hearth floor extension has cracks through stone or cement; have addressed/repared. Rear fireplace also has remote not installed or mounted. Missing screen in rear room facing yard. Most of the windows and in some other rooms have paint around frames when opened; ask if windows will be painted or paint removed. There is broken drywall near steam unit for steam shower; have sealed and painted. The door to knee wall will open if ties rack placed in the forward position (on tracks) and remove the clothes hanger bar. Door were installed roughly with drywall screws(sloppy installation); visible along shelving; have corrected. *This attic area was very hot when accessed near door panel. Hot humid attics will cause damage to wood sheathing, framing and promote conditions conducive to mold. There was a lot of sap on the wood or framing in attic; indication of very hot conditions. There was darkened areas on some rafters or wood; gives indication of possible mold. Mold testing is always recommended and mitigation as per determination/testing. Attic needs more ventilation; confer with a ventilation contractor and mold mitigation/testing company to rule out potential health issues & structural concerns.*

Evaluations recommended/Concerns:

- 1.) Follow-up with builder or contractor on all flooring concerns in home
- 2.) Possible mold in attics; attics very hot/lack of proper ventilation. Testing & further evaluation recommended by ventilation contractor and mold testing/mitigation company.

Pictures



Figure 53 Examples of Possible mold; further evaluate and mitigate as per contractor & testing.

WINDOWS/FIREPLACES/HALL/ATTIC

INTERIOR WINDOWS / GLASS

Condition: Satisfactory Marginal Poor Needs repair Painted shut (See remarks page)
 Representative number of windows operated Ask if Pella windows under warranty
Evidence of Broken Vapor seals : Yes No N/A **Safety Glazing Needed:** Yes No
 Cracked glass Hardware loose/crank handles Broken counter-balance mechanism
Security Bars Present: N/A Yes No Not tested Safety hazard Test release mechanism before moving in

FIREPLACE

None Location(s): outside rear patio, dining room(double), library/den, (2)Master bedroom
 Recommend having flue cleaned and re-examined
Type: Gas (Not Tested) Wood Wood burner stove (See remarks page) Electric Ventless
Material: Masonry Metal (pre-fabricated) Metal insert
Miscellaneous: Blower built-in Operates: Yes No **Damper operates:** Yes No, dining Rm
 Open joints or cracks in firebrick/panels should be sealed Fireplace doors need repair
Damper Modified for Gas Operation: Yes Flue clamps Damper missing Pre-fab panels damaged/worn
Hearth Adequate: Yes No **Mantle:** N/A Satisfactory Adequate Loose/missing
Physical Condition: Satisfactory Marginal Poor

STAIRS / STEPS / BALCONIES

Satisfactory Marginal Poor None
Handrail: Satisfactory Marginal Poor Safety hazard Loose; secure properly
Risers/Treads: Satisfactory Marginal Poor Risers/Treads uneven/unsafe

SMOKE / CARBON MONOXIDE DETECTORS (See remarks page)

Present: Smoke Detector: Yes No **Operates:** Yes No Not tested
CO Detector: Yes No **Operates:** Yes No Not tested

Not tested; Should be performed by Local/State municipality prior to Occupancy.

ATTIC/STRUCTURE/FRAMING/INSULATION

N/A
Access: Stairs Pull down Scuttle hole/Hatch- closets No access Other
Inspected From: Access panel In the attic Other
Location: Bedroom hall Bedroom closet Garage Other
Access Limited By: flooring
Flooring: Complete Partial and None
Insulation: Type: Fiberglass batt Batts Loose Average inches: 3-6 Approx. R-rating: **Unknown**
 Damaged Displaced Missing Compressed Recommend Baffles @ Eaves
Installed In: Rafters Walls Between ceiling joists Not visible
Ventilation: Yes No Ventilation does NOT appear adequate Recommend additional ventilation
Fans Exhausted To: N/A Attic: Yes No Outside: Yes No Not visible
HVAC Duct: Satisfactory Damaged Split Disconnected Leaking Repair/Replace
Chimney Chase: N/A Satisfactory Needs repair Not visible
Structural Problems Observed: Yes No Recommend repair Recommend Structural Engineer
Roof Structure: Rafters Trusses Wood Metal Other
Collar Ties Present: Yes No N/A
Roof Sheathing: Plywood OSB 1x Wood Cedar shingles Rotted Stained Delaminated
Evidence of Condensation/Moisture Leaking: Yes No (See remarks page) Possible Mold; testing recommended
Ceiling Joists: Wood Metal Other Not visible
Vapor Barriers: Kraft/foil faced Plastic Not visible Improperly installed
Firewall Between Units: N/A Yes No Needs repair/sealing (See remarks page)
Indication of Past fire damage Yes No Recommend checking with Local fire Marshall and Township
Electrical: Open junction box(es) Handyman wiring Visible knob-and-tube Loose wires/live wires

GENERAL COMMENTS

WINDOWS/FIREPLACES/HALL/ATTIC: Do not force windows in closed, open or locked positions to avoid damaging vapor seals. If broken, they typically have to be replaced. Ask if windows are under warranty. Recommend extending railing the length of walk-up attic staircase for safety. Most room in home were not completely painted or caulked; painters were working in several areas in home at time of inspection. There were some missing screens on windows add where needed. The side door near garage off to left of 1st floor half bath swings on its own; have door hardware adjusted and door stop installed. There are no screen doors on entry doors; consider adding. The door to the coat closet off the half bath swings on its own; have evaluated and corrected. Double door near half bath 1st floor has no locking hardware at floor or ceiling. Door to walk-up attic sticks; have sanded and adjusted. There was displaced or missing insulation in some areas, possibly where work was being done. ***There were several rafters or wood members that were darkened; gives indication of possible mold. Recommend testing and mitigated where needed. Hot humid attic can shorten life of sheathing and wood members and promote mold conditions. Confer with a ventilation for more ventilation methods and mold contractors; further evaluation recommended.*** Light switch on second floor adjacent to rear right bedroom #5 is very temperamental; flicks on and off out of position; light is for staircase to kitchen area below. ***Have electrician evaluate and correct.***

BASEMENT LEVEL FINISHED

STAIRS N/A

Condition: Satisfactory Marginal Poor Typical wear and tear Need repair
Handrail: Yes No **Condition:** Satisfactory Loose
Headway Over Stairs: Satisfactory *Low clearance* *Safety hazard*

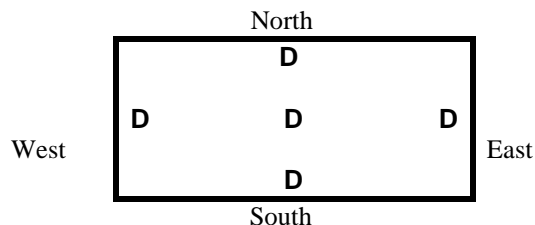
FOUNDATION **Condition:** Satisfactory Drywall- Finished *Have evaluated* **Monitor**
Material: Brick Concrete block Fieldstone Poured concrete Hollow clay tiles (1930's)
Horizontal Cracks: Not visible Typical **Step Cracks:** Yes No Not visible
Vertical Cracks: Not visible Typical **Covered Walls:** Yes No Typical
Movement Apparent: Not visible **Indication Of Moisture:** Yes No Fresh Old stains

Condition reported above reflects visible portion only

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

P = Paneling C = Crack(s)
 D = Drywall M = Monitor
 S = Storage E = Evaluate
 O = Other



FLOOR **Material:** Concrete Dirt/Gravel Not visible Other
Condition: Satisfactory Marginal, caulked cracks Poor Typical cracks Large cracks, sealed
 Construction work in progress

SEISMIC BOLTS N/A

BASEMENT DRAINAGE

Indication of moisture: Yes No Fresh Old stains
 Environmental Hazards: Mold, etc. are Not part of a NJ Home Inspection (See Standards of Practice & Pre-Inspection Agreement)
 Basements are not intended for legal bedrooms or living spaces unless deemed by local township which requires Egress compliant windows among other requirements. Have township code official evaluate any basements for purpose other than mechanicals, electrical and utilities or laundry. Living in a basement may affect overall health and breathing.
Sump Pump: Yes No **Tested:** Yes No Working Not working Needs cleaning *Not tested*
Floor Drains: Yes No Not visible Efflorescence present Recommend dehumidifier

Note: Under certain unforeseen weather conditions, future moisture and water infiltration can occur even if a basement has never had moisture in the past. Observing proper grading, drainage, working gutter systems and sump pumps is imperative in helping keep a basement dry.

GIRDERS / BEAMS / COLUMNS **Material:** Steel Wood Block Concrete Not visible
Condition: Satisfactory Marginal Poor Stained/rusted

JOISTS **Material:** Wood Steel Truss Not visible
Condition: Satisfactory Marginal Poor

(IF CHECKED) Wood destroying insect evidence was present: Sections of walls/ceilings must be removed to determine damage. Hidden damage possible. Recommend structural engineer/licensed contractor evaluate and licensed treatment company exterminate prior to closing.

SUB FLOOR

Indication of moisture stains/rotting ** Areas around shower stalls, etc., as viewed from basement or crawl space

GENERAL COMMENTS

FINISHED BASEMENT LEVEL : Recommend a battery backup in case of power failure. There was efflorescence on walls or flooring; indication of water infiltration present. Recommend observing grading on exterior pitched away from foundation for proper drainage. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice. Recommend lighting on staircase for safety. There was water in the sump pump and pump turned on to drain. There were settling cracks on floor in open rooms where no tile on floor.; cracks were sealed.

MAIN BATH: BASEMENT

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No **Loose:** Yes No **Pipes leak:** Yes No
Fixture(s) Condition: Satisfactory Marginal Poor

TOILET

Bowl Loose: Yes No **Operates:** Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
Condition: Satisfactory Marginal Poor Rotted floors
Caulk/Grouting Needed: Yes No **Where:**
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Whirlpool Operable: N/A Yes No **Access panel to pump/motor:** Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No **Outlets present:** Yes No
G.F.C.I. present: Yes No **Operates:** Yes No
Open ground/Reverse polarity within 6' of water: Yes No **Potential safety hazards present:** Yes No

HEAT / COOLING SOURCE

Yes No
Window/Door: Yes No Satisfactory Marginal Poor
Exhaust Fan: Yes No **Operates:** Yes No **Noisy:** Yes No

GENERAL COMMENTS

BASEMENT BATH :

KITCHEN II BASEMENT

COUNTERTOPS

Satisfactory Marginal *Recommend repair/caulking*

CABINETS

Satisfactory Marginal *Recommend repair/adjustment*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspectors responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Satisfactory Corroded Chipped Cracked *Recommend repair*
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor

WALLS & CEILING

Condition: Satisfactory Marginal Poor Typical cracks *Moisture stains*

HEATING / COOLING SOURCE

Yes No

FLOOR

Condition: Satisfactory Marginal Poor Sloping Squeaks

APPLIANCES

(See remarks page)

Oven Operates: Yes No Exhaust fan Operates: Yes Noisy
 Range Operates: Yes Not responding Refrigerator Operates: Yes No
 Dishwasher Operates: Yes Not tested*

Dishwasher Air gap: Yes No N/A **Dishwasher Drain Line Looped:** Yes No Not visible
Outlets Present: Yes No Operable: Yes No
G.F.C.I.: Yes No Operable: Yes No
Open ground/Reverse polarity within 6' of water: Yes No *Potential safety hazard(s)*

GENERAL COMMENTS

KITCHEN II BASEMENT : * Packaging inside dishwasher; not tested. Test before closing. *Glass top stove was not responding when tested; check manual and retest prior to closing.* There was power to the range. The exhaust fan was very noisy or rattling when on higher speeds; have checked.

OPEN ROOM RIGHT

LOCATION:

Walls & Ceiling:	<input checked="" type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Where:
Floor:	<input checked="" type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input type="checkbox"/> Squeaks <input type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Doors & Windows:	Operational: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Broken Vapor Seals :	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Missing	<input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

OPEN ROOM RIGHT : There was caulked or sealed cracks on cement slab. No flooring or tiles present.

OPEN ROOM LEFT

LOCATION:

Walls & Ceiling:	<input checked="" type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Where:
Floor:	<input checked="" type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input type="checkbox"/> Squeaks <input type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Doors & Windows:	Operational: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Broken Vapor Seals :	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Missing	<input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

OPEN ROOM LEFT : There was caulked or sealed cracks on cement slab. No flooring or tiles present.

WINE CELLAR ROOM

LOCATION:

Walls & Ceiling:	<input checked="" type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Where:
Floor:	<input checked="" type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input type="checkbox"/> Squeaks <input type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Doors & Windows:	Operational: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Broken Vapor Seals :	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> No	<input type="checkbox"/> Missing <input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

WINE CELLAR ROOM : Missing floor molding and no door on room. Plastic laundry slop sink operated when tested.

PLUMBING

WATER SERVICE

Main Shut-off Location: basement

All home will have plumbing repairs/upgrades at some point- monitor plumbing

- Water Entry Piping:** Not visible Copper/Galv. **Plastic*** (PVC, CPVC, Polybutylene, PEX) Unknown
- Visible Water Distribution Piping:** Copper Galvanized **Plastic*** (PVC, CPVC, Polybutylene, PEX) Unknown
- Condition:** Satisfactory Marginal Poor
- Lead Other Than Solder Joints:** Yes No Unknown Service entry
- Functional Flow:** Adequate Low Poor **Water pressure over 80 psi; high**
- Pipes, Supply/Drain:** **Monitor for corrosion & leaking** **Valves broken/missing** **Dissimilar metal**
- Drain/Waste/Vent Pipe:** Copper Cast iron Galvanized PVC ABS
- Condition:** Satisfactory Not visible Poor **Cross connection:** Yes No
- Support/Insulation:** Type: Metal strapping
- Traps Proper P-Type:** N/A Yes No; some S-type or other **P-traps recommended**
- Functional Drainage:** Adequate Poor **Recommend plumber evaluate**
- Interior Fuel Storage System:** Yes No Leaking: Yes No
- Gas Line:** Copper Brass Black iron Stainless steel Flexible CSST (yellow) Not visible
- Condition:** Satisfactory Marginal Poor

NOTE: T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.

MAIN FUEL SHUT-OFF LOCATION FIXTURES IN HOME

Outside N/A

All plumbing and upgrades must be installed by licensed plumber and with permits when renovated.

Note: Fixtures in home are not inspected for product brand, quality, manufacturer, expected life or predicted failure. Fixtures are tested for adequate flow, adequate drainage and any noted leaks or corrosion at time of inspection. If brand and life service is a concern, obtain information and warranty from sellers before closing.

WELL PUMP

N/A Submersible

- Location:** In basement Well house Well pit Shared well
- Pressure Gauge Operates:** Yes No Unknown Well pressure: ??? psi Not visible

Well system and water testing not part of NJ home inspection. Well inspection and water testing should be conducted prior to closing.

SANITARY / GRINDER PUMP

N/A

- Sealed Crock:** Yes No **Check Valve:** Yes No **Vented:** Yes No

WATER HEATERS #1 & #2

N/A **Condition:** Satisfactory Marginal Poor

- Brand name:** ----
- Type:** Gas Electric Oil Other
- Unit Elevated:** Yes No N/A **Tank/Piping corroded/leaking**
- Capacity:** ~75 gallons Approximate age: ~2003 year(s)
- Combustion Air Venting Present:** Yes No N/A Seismic restraints needed: Yes No N/A
- Relief Valve:** Yes No **Extension proper:** Yes No **Missing** **Recommend repair**
- Vent Pipe:** N/A Satisfactory Pitch proper **Improper** **Rusted** **Recommend repair**

WATER SOFTENER

(Unit not evaluated) N/A

NOTE: Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines and drains. Confer with a water softener company and plumber if there is hard water in the home. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home.

GENERAL COMMENTS

PLUMBING: Typical life expectancy of hot water heater is 10 yrs. Units are approximately 6 yrs old. Plan and budget for new one now. Recommend monitoring plumbing in home for corrosion, leaks and clogs or backups. Have plumber upgrade and repair as needed.

HEATING

HEATING SYSTEM - UNIT #1

Location: attic, basement

(See remarks page)

Brand name: Carrier (2) in attic Approximate age: 6+ year(s) ~2003
 Brand name: Carrier (4) in basement Approximate age: 6+ year(s) ~2003
 Ducts: Have ducts cleaned **Energy Source:** Gas LP Oil Electric
Warm Air System: Belt drive Direct drive Gravity Central system Floor/Wall unit
Heat Exchanger: N/A (sealed) Visual w/mirror *Flame distortion* *Rusted* *Carbon/soot buildup*
Carbon Monoxide: N/A Detected at Plenum/Register Not tested
CO Test: Yes No **Combustion Air Venting Present:** Yes No N/A
Controls: Disconnect: Yes No Normal operating and safety controls observed
Distribution: Metal duct Insul. flex duct Cold air returns Duct board *Asbestos-like wrap*
Flue Piping: N/A Rusted Improper slope *Safety hazard*
Supports for Piping/Insulation: N/A Yes No
Filter: Standard Electrostatic Satisfactory Needs cleaning/replacement Missing
When Turned On By Thermostat: Fired Did not fire- thermostat Error messages
 Proper Operation: Yes(3) No(3) **Have serviced by HVAC technician**
Heat Pump: Aux. electric Aux. gas N/A **Sub-Slab ducts:** Yes No N/A
System Not Operated Due To: Exterior temperature Other Recommend testing prior to **closing**
 Recommend technician examine now & yearly **System Condition:** Satisfactory Repairs/Service needed

OTHER SYSTEMS

floor heating, 2nd floor bath Electric baseboard Radiant ceiling cable
 Gas space heater Wood burning stove (See Remarks page)
Proper Operation: Yes **No**
System Condition: Satisfactory Marginal **Have evaluated**

GENERAL COMMENTS

HEATING: Typical life expectancy of furnace is approximately 25 yrs when maintained properly. Units are approximately 6 yrs old. Recommend cleaning ducts yearly or as needed. **Ducts were very dirty in all rooms; filled with construction debris.** Recommend changing filters as per manufacturers recommendation. Typically there are 30, 60 or 90 days filters on market; personal choice. Recommend a yearly service or tune up on HVAC system. Recommend a "Home Warranty."
Floor heating in master bath did not get hot when tested; have checked before closing. Furnaces #1, 3, and 4 did not operate when tested. Units #2, 5 and 6(attic) were functioning when tested. Thermostats for the non functioning units displayed the message as follows: System Malfunction Call Technician. Recommend a technician evaluate the HVAC systems and floor heat on second floor before closing.



Figure 54 # Units gave this message when heat or HVAC tested.

